

Title: **STAGE 1 QUALITY AUDIT**

For;

Sandyford Central.

Client: **Sandyford GP Limited (Acting in its capacity as general partner for Sandyford Central Partnership)**

Date: **September 2019**

Report reference: **0653R01**

VERSION: **FINAL**

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1.0 Introduction

This report was prepared in response to a request from Mr. Patrick Raggett, OCSC on behalf of Sandyford GP Limited (Acting in its capacity as general partner for Sandyford Central Partnership) for a Stage 1 Quality Audit of the proposed residential development at the former Aldi site, Commonhall Road, Sandyford Business District, Sandyford, Dublin 18.

The Quality Audit has been carried out in accordance with the guidance in the Design Manual for Urban Roads and Streets (DMURS), produced by Department of Transport Tourism and Sport in March 2013.

This Quality Audit includes a road safety audit, an access audit, a walking audit, a cycle audit and a non-motorised user audit.

The Road Safety and Quality Audit Team comprised of;

Team Leader: **Norman Bruton**, BE CEng FIEI, Cert Comp RSA.

Team Member: **Owen O'Reilly** B.SC. Eng Dip Struct. Eng NCEA Civil Dip Civil.Eng CEng MIEI

The Quality Audit involved the examination of drawings and other material provided by OCSC and a site visit by the Audit Team, together, on the 24th September 2019.

The weather at the time of the site visit was dry and the road surface was damp.

The problems raised in this Quality Audit may belong to more than one of the categories of Audit named above. A table has been provided at the start of Section 3 of this report detailing which category of audit each problem is associated with.

Recommendations have been provided to help improve the quality of the design with regard to the areas described above. A feedback form has also been provided for the designer to complete indicating whether or not he/she will accept those recommendations or provide alternative recommendations for implementation.

The information supplied to the Audit Team is listed in **Appendix A**.

A feedback form for the Designer to complete is contained in **Appendix B**.

A plan drawing showing the problem locations is contained in **Appendix C**.

2.0 Background

It is proposed to construct a mainly residential development of 564 apartments, communal amenity areas, a creche and café in Sandyford between Blackthorn Avenue and Carmanhall Road.

The main vehicular access will be via a priority junction on Carmanhall Road to the East of the existing Corrig Road junction leading to a basement car park (254 spaces). A secondary access will be provided to the West of Corrig Road which will serve a smaller number of parking spaces (31 spaces).

Carmanhall road is a single carriageway two-way road with footpaths on both sides. There is an on-road cycle lane on Carmanhall Road to the East of the proposed site but is discontinued along the site frontage.

Bicycle access to the basement car park will be provided from both Blackthorn Avenue and Carmanhall Road.

It is proposed to provide a loading bay/set down area along both Carmanhall Road and Blackthorn Avenue to act as set down areas for Creche use, waste collection and other servicing needs.

Pedestrian access will be provided through the site to facilitate access to the Luas stop.

There is a substantial level difference between Carmanhall Road and Blackthorn Avenue. Steps are provided as well as a lift for public use. The gradients on the ramped areas are approximately 5% and for cyclists is 7% into the basement.

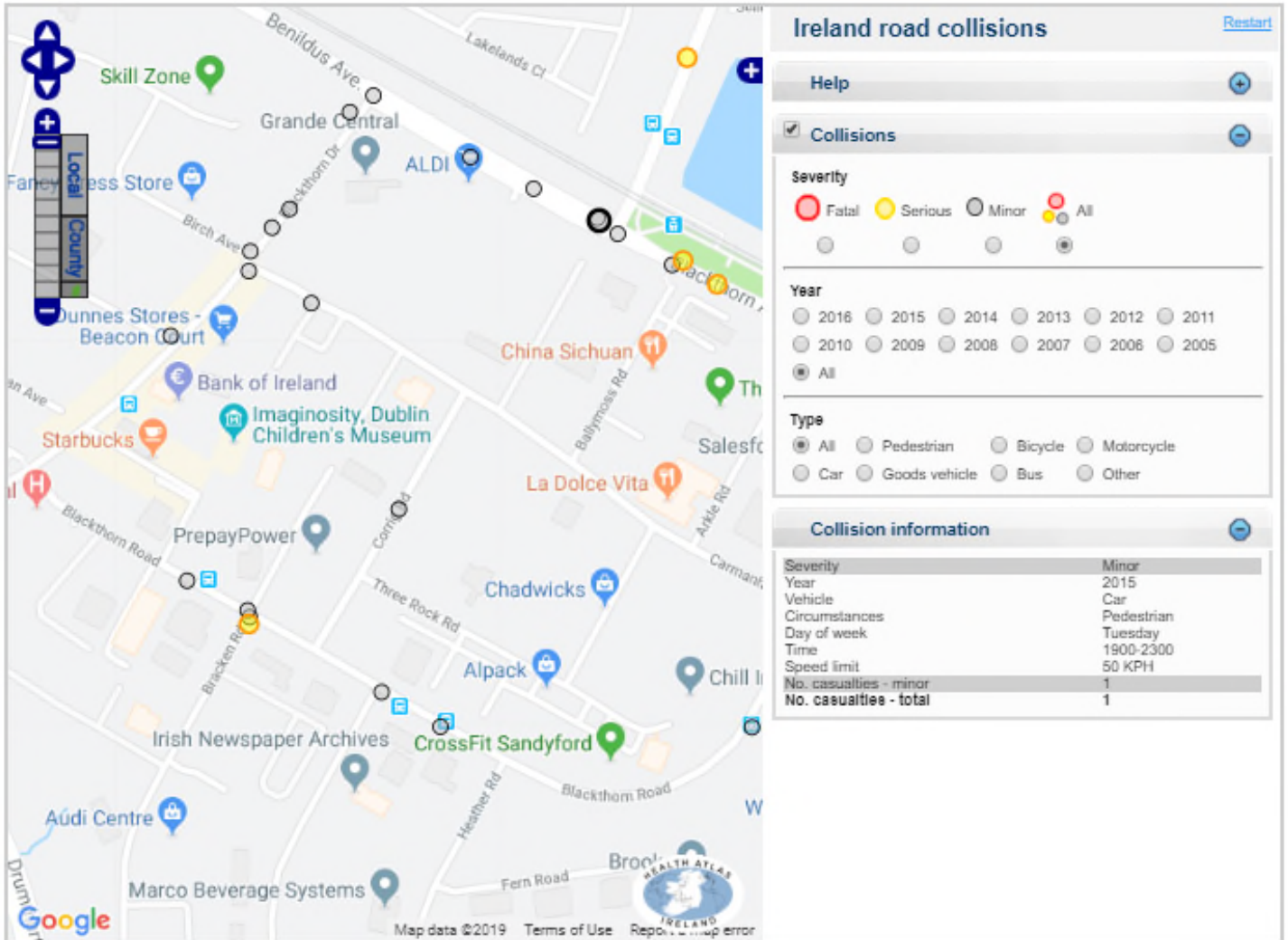
The location of the site is shown below.



Site Location Map (courtesy of openstreetmap.org)

ST 1, QUALITY AUDIT – SANDYFORD CENTRAL
OCSC

The Road Safety Authority’s website shows the location of recorded injury collisions between the years 2005 and 2016. There were a number of collisions along Blackthorn Avenue over this period. A large proportion of those collisions involved pedestrians.



3.0 Main Report

Summary Table of Problem Categories

Problem Reference	Access Audit	Walking Audit	Cycling Audit	Non-motorised User Audit	Road Safety Audit	Quality Audit
3.1		✓		✓	✓	✓
3.2			✓	✓	✓	✓
3.3		✓		✓	✓	✓
3.4	✓					✓
3.5	✓	✓		✓	✓	✓

3.1 Problem

LOCATION

Drawing SFC-OCSC-00-00-DR-C-0001 A1, C01

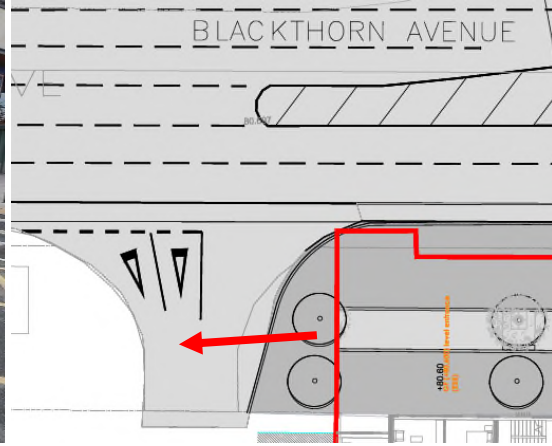
PROBLEM

There are inadequate crossing facilities for pedestrians wishing to cross the car park to the West of the proposed development on Blackthorn Avenue. Without suitable tactile paving, partially sighted pedestrians may inadvertently enter the carriageway resulting in a greater risk of a collision with vehicular traffic.

The existing crossing has black (pavement) and white strips that may make it look like a zebra crossing however it is an uncontrolled crossing. This may lead to pedestrians thinking that they have right of way over vehicular traffic and may enter the crossing without due caution.

There are existing tactile paving slabs and dropped kerbs at the Blackthorn Avenue edge of the existing footpath. This may lead pedestrians to cross here where it is not as safe as crossing at a greater setback given the width of the car park access.

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OCSC



RECOMMENDATION

It is recommended that the crossing is upgraded to a zebra crossing or that the white strips are removed.

It is further recommended that the appropriate tactile paving is provided.

Lastly, it is recommended that the existing tactile paving at the carriageway edge be removed and a full height kerb be provided to deter pedestrians from crossing at that location.

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3.2 Problem

LOCATION

Drawing SFC-OCSC-00-00-DR-C-0002 A1, C01

PROBLEM

There is an existing advisory cycle lane on northern side of Carmanhall Road to the West of the proposed development. There are no facilities for cyclists along the site boundary. The lack of cycle facilities will lead to drivers being less aware of the presence of cyclists and a greater risk of collisions between the road user groups.



RECOMMENDATION

It is recommended the cycle lane be continued along the front of the development to the existing signalised toucan crossing East of the proposed site.

3.3 Problem

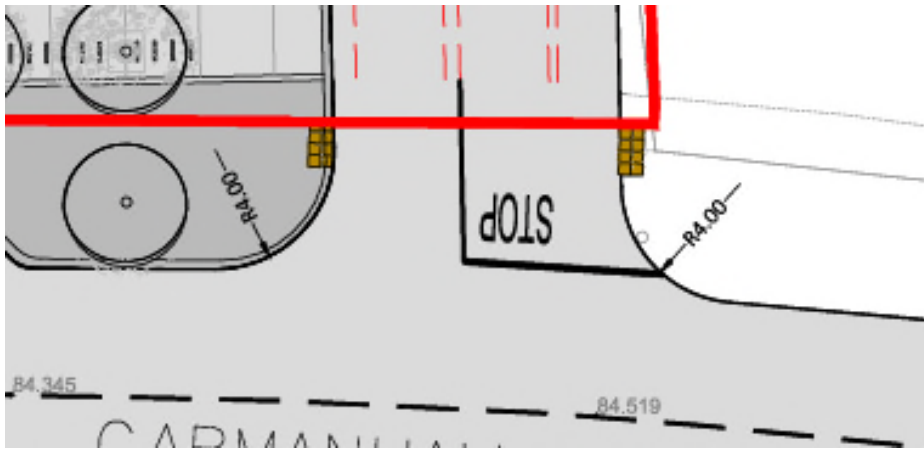
LOCATION

Drawing SFC-OCSC-00-00-DR-C-0002 A1, C01

PROBLEM

The drawing shows tactile paving at the crossing of the access to the basement on Carmanhall Road. This is an in-line crossing and there is a risk that blind or partially sighted pedestrians may step over the tactile paving and inadvertently enter the carriageway where they would be at greater risk of being struck by a vehicle.

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OCSC



RECOMMENDATION

It is recommended that the tactile paving for in-line crossings be at least 1.2m deep.

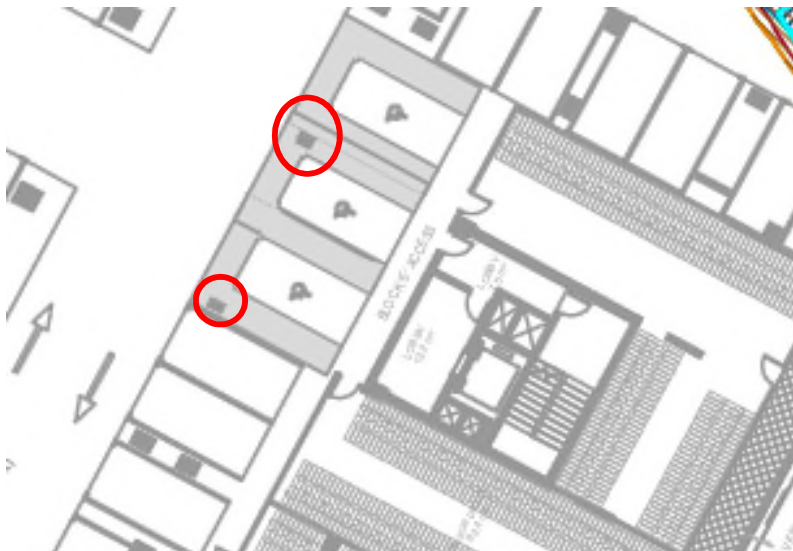
3.4 Problem

LOCATION

Drawing SFC-OCSC-00-00-DR-C-0006 A1, C02

PROBLEM

There are a number of disabled parking bays that have structural columns located within the space required for disabled drivers to enter/exit their vehicles. This could lead to disabled drivers being trapped and unable to get to their destination.



RECOMMENDATION

It is recommended that the columns be relocated.

3.5 Problem

LOCATION

Drawing SFC-OCSC-00-00-DR-C-0007 A1, C01

PROBLEM

It is unclear where the refuse bins will be brought to on collection day and if this will lead to blocking or partial blocking of pedestrian and cyclist routes.

RECOMMENDATION

It is recommended that bin collection areas are provided that do not lead to the obstruction of pedestrian or cyclist routes.

4.0 Observations


4.1 Observation


The proposed footway along Carmanhall Road will have to accommodate the existing signage for the Beacon car park and vehicular directions to the Luas.

5.0 Quality Audit Statement

This quality Audit has been carried out in accordance with the guidance given in DMURS and takes into consideration the principles approaches and standards of that Manual.

The quality audit has been carried out by the persons named below who have not been involved in any design work on this scheme as a member of the Design Team.

Norman Bruton Signed: 
(Quality Audit Team Leader) Dated: 21-10-2019

Owen O'Reilly Signed: 
(Quality Audit Team Member) Dated: 21-10-2019

Appendix A

List of Material Supplied for this Quality Audit;

- Drawing SFC-OCSC-00-00-DR-C-0001 A1, C01
- Drawing SFC-OCSC-00-00-DR-C-0002 A1, C01
- Drawing SFC-OCSC-00-00-DR-C-0004 A1, C01
- Drawing SFC-OCSC-00-00-DR-C-0005 A1, C01
- Drawing SFC-OCSC-00-00-DR-C-0006 A1, C02
- Drawing SFC-OCSC-00-00-DR-C-0007 A1, C01

Background Information Supplied

- Traffic Impact Assessment, OCSC, July 2019
- DMURS Statement of Consistency, OCSC, July 2019.

Appendix B

Feedback Form

QUALITY AUDIT FORM – FEEDBACK ON QUALITY AUDIT REPORT

Scheme: Sandyford Central

Quality Audit- Stage 1

Date Audit (site visit) Completed: 24-9-2019

Paragraph No. In Quality Audit Report	Problem accepted (yes/no)	Recommended measure accepted (yes/no)	Alternative measures (describe)	Alternative measures accepted by Auditors (Yes/No)
3.1	Yes	No	This is within the boundary of the adjacent development and is outside the scope of works of this project.	Yes, Issue for Roads Authority
3.2	Yes	No	There is no proposal to amend the adjacent roads as part of this development, this area is outside the scope of this project.	Yes, Issue for Roads Authority
3.3	Yes	Yes		
3.4	Yes	Yes		
3.5	Yes	Yes		

Signed *Pavil R. [Signature]*
Design Team Leader

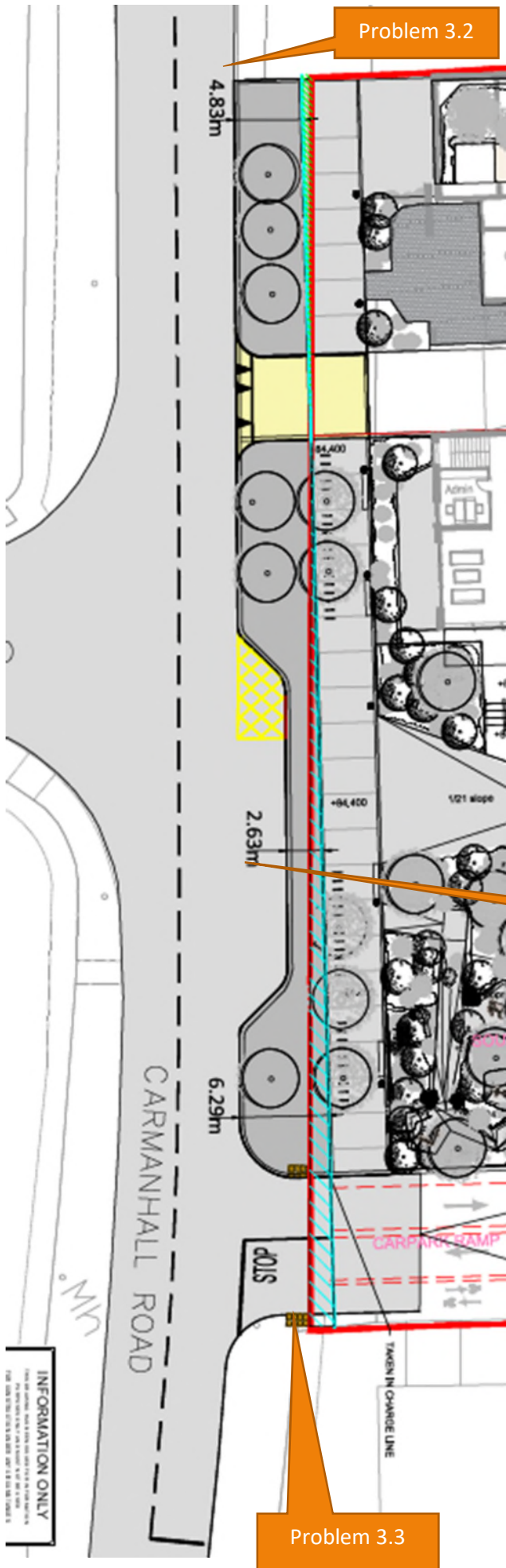
Date 21-10-2019

Signed *Norman Bruton*
Quality Audit Team Leader

Date: 21-10-2019

Appendix C

Problem Location Plan.

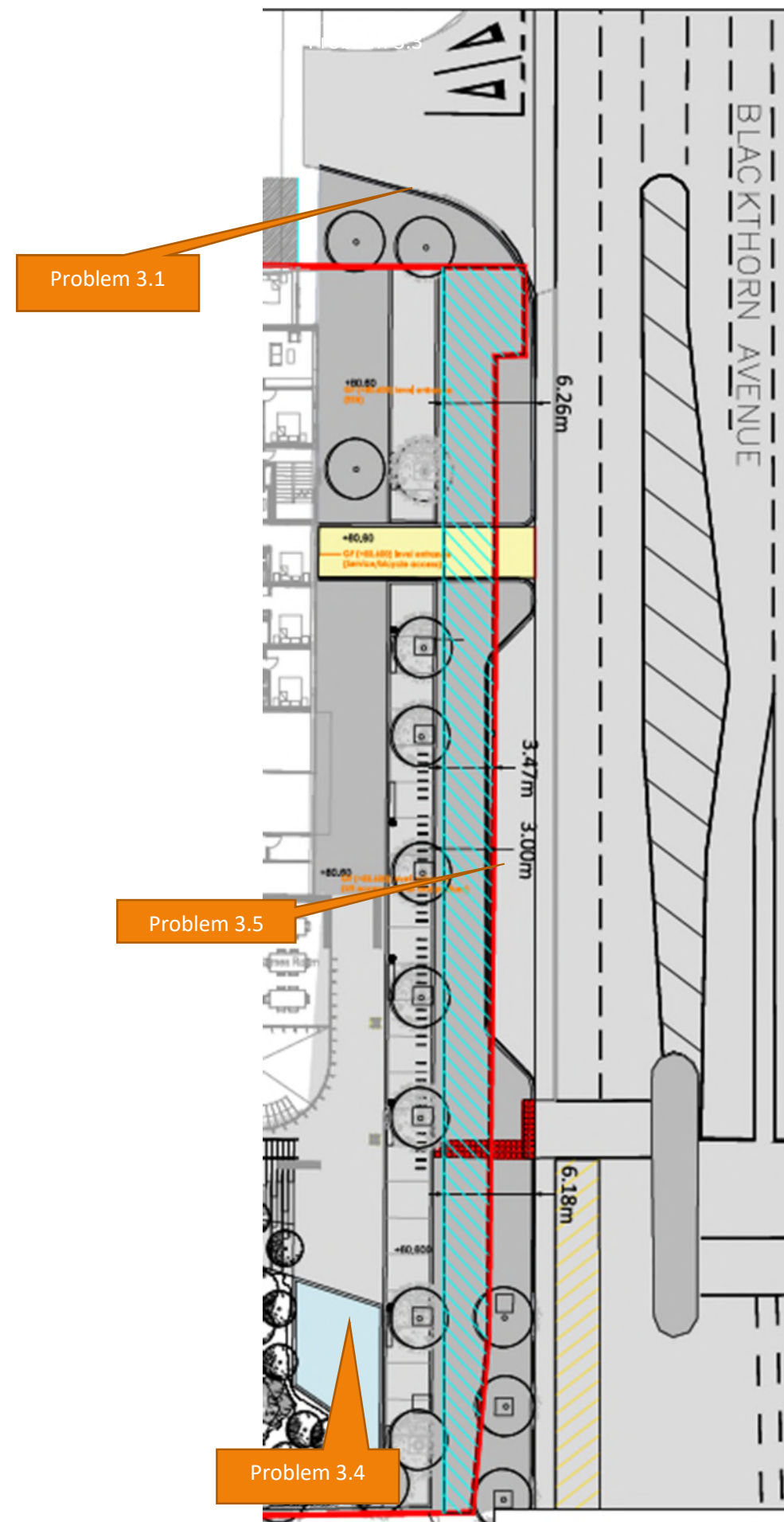


Problem 3.2

Problem 3.5

Problem 3.3

INFORMATION ONLY
 THIS PLAN IS FOR INFORMATION ONLY AND DOES NOT REPRESENT A CONTRACT. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON SITE BEFORE COMMENCING WORK.



Problem 3.1

Problem 3.5

Problem 3.4